

090.0

0006

0009.0

Map

Block

Lot

1 of 1

Residential

CARD

ARLINGTON

APPRAISED:

Total Card / Total Parcel

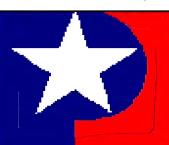
595,700 / 595,700

USE VALUE:

595,700 / 595,700

ASSESSED:

595,700 / 595,700


**Patriot**  
 Properties Inc.

## PROPERTY LOCATION

## IN PROCESS APPRAISAL SUMMARY

No	Alt No	Direction/Street/City
48		CHARLES ST, ARLINGTON

OWNERSHIP		Unit #:
Owner 1:	FORREST STEPHEN	
Owner 2:	PUGSLEY ELIZABETH	
Owner 3:		

Street 1: 48 CHARLES ST

Street 2:

Twn/City: ARLINGTON

St/Prov: MA Cntry: Own Occ: Y

Postal: 02474 Type:

## PREVIOUS OWNER

Owner 1: FORREST JOHN J-JOHN J JR -

Owner 2: -

Street 1: 29 KEANS ROAD

Twn/City: BURLINGTON

St/Prov: MA Cntry:

Postal: 01803

## NARRATIVE DESCRIPTION

This parcel contains 6,260 Sq. Ft. of land mainly classified as One Family with a Ranch Building built about 1956, having primarily Wood Shingle Exterior and 1733 Square Feet, with 1 Unit, 1 Bath, 0 3/4 Bath, 1 HalfBath, 5 Rooms, and 2 Bdrms.

## OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

Item	Code	Description	%	Item	Code	Description
Z	R1	SINGLE FA	100	water		
o				Sewer		
n				Electri		
Census:				Exempt		
Flood Haz:						
D				Topo	1	Level
s				Street		
t				Gas:		

## LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / PriceUnits	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh	Neigh Infl	Neigh Mod	Infl 1	%	Infl 2	%	Infl 3	%	Appraised Value	Alt Class	%	Spec Land	J Code	Fact	Use Value	Notes
101	One Family		6260		Sq. Ft.	Site		0	70.	0.97	5									425,462						425,500	

IN PROCESS APPRAISAL SUMMARY										Legal Description						User Acct				
101	6260.000	170,200			425,500	595,700														
Total Card	0.144	170,200			425,500	595,700	Entered Lot Size													
Total Parcel	0.144	170,200			425,500	595,700	Total Land:													
Source:	Market Adj Cost				Total Value per SQ unit /Card:	343.78	/Parcel:	343.7						Land Unit Type:						

PREVIOUS ASSESSMENT										Parcel ID					
Tax Yr Use Cat Bldg Value Yrd Items Land Size Land Value Total Value Asses'd Value Notes Date										090.0-0006-0009.0					

2020	101	FV	170,200	0	6,260.	425,500	595,700	595,700	Year End Roll	12/18/2019
2019	101	FV	153,600	0	6,260.	431,500	585,100	585,100	Year End Roll	1/3/2019
2018	101	FV	153,600	0	6,260.	322,100	475,700	475,700	Year End Roll	12/20/2017
2017	101	FV	153,600	0	6,260.	291,700	445,300	445,300	Year End Roll	1/3/2017
2016	101	FV	153,600	0	6,260.	279,600	433,200	433,200	Year End	1/4/2016
2015	101	FV	152,900	0	6,260.	237,000	389,900	389,900	Year End Roll	12/11/2014
2014	101	FV	152,900	0	6,260.	224,900	377,800	377,800	Year End Roll	12/16/2013
2013	101	FV	152,900	0	6,260.	213,900	366,800	366,800		12/13/2012

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Notes
FORREST JOHN J	31763-357		8/2/2000	Family	125,000	No	No	John J Forrest Sr. 01/30/1982	
	9621-308		1/1/1901			1	No	N	

BUILDING PERMITS										ACTIVITY INFORMATION					
Date Number Descrip Amount C/O Last Visit Fed Code F. Descrip Comment										Date Result By Name					
11/1/2006 947 Re-Roof 5,500										11/9/2018 MEAS&NOTICE CC Chris C					
										1/5/2009 Meas/Inspect 372 PATRIOT					
										3/3/2000 Inspected 270 PATRIOT					
										1/27/2000 Mailer Sent					
										1/27/2000 Measured 264 PATRIOT					
										12/1/1991 PM Peter M					

Sign: VERIFICATION OF VISIT NOT DATA / / /

<b>EXTERIOR INFORMATION</b>				<b>BATH FEATURES</b>				<b>COMMENTS</b>				<b>SKETCH</b>					
Type: 19 - Ranch				Full Bath: 1	Rating: Average												
Sty Ht: 1 - 1 Story				A Bath:	Rating:												
(Liv) Units: 1	Total: 1			3/4 Bath:	Rating:												
Foundation: 1 - Concrete				A 3QBth:	Rating:												
Frame: 1 - Wood				1/2 Bath: 1	Rating: Average												
Prime Wall: 1 - Wood Shingle				A HBth:	Rating:												
Sec Wall: 8 - Brick Veneer	5%			OthrFix:	Rating:												
Roof Struct: 1 - Gable				<b>OTHER FEATURES</b>				<b>RESIDENTIAL GRID</b>									
Roof Cover: 1 - Asphalt Shgl				Kits: 1	Rating: Average			1st Res Grid	Desc: Line 1	# Units: 1							
Color: BLUE				A Kits:	Rating:			Level	FY LR DR D K FR RR BR FB HB L O								
View / Desir:				Fpl: 1	Rating: Average			Other									
<b>GENERAL INFORMATION</b>				WSFlue:	Rating:			Upper									
Grade: C - Average								Lvl 2									
Year Blt: 1956	Eff Yr Blt:							Lvl 1									
Alt LUC:	Alt %:							Lower									
Jurisdict:	Fact: .							Totals	RMS: 5	BRs: 2	Baths: 1	HB: 1					
Const Mod:				<b>CONDOS INFORMATION</b>				<b>REMODELING</b>				<b>RES BREAKDOWN</b>					
Lump Sum Adj:				Location:				Exterior:	No Unit	RMS	BRs	FL					
<b>INTERIOR INFORMATION</b>				Total Units:				Interior:	1	5	2						
Avg Ht/FL: STD				Floor:				Additions:									
Prim Int Wall: 1 - Drywall				% Own:				Kitchen:									
Sec Int Wall:	%			Name:				Baths:									
Partition: T - Typical								Plumbing:									
Prim Floors: 3 - Hardwood								Electric:									
Sec Floors:	%							Heating:									
Bsmnt Flr: 12 - Concrete								General:									
Subfloor:																	
Bsmnt Gar:																	
Electric: 3 - Typical																	
Insulation: 2 - Typical																	
Int vs Ext:																	
Heat Fuel: 2 - Gas																	
Heat Type: 3 - Forced H/W																	
# Heat Sys: 1																	
% Heated: 100	% AC:																
Solar HW: NO	Central Vac: NO																
% Com Wall	% Sprinkled:																
<b>MOBILE HOME</b>				Make:		Model:		Serial #:		Year:		Color:					
<b>SPEC FEATURES/YARD ITEMS</b>																	
<b>PARCEL ID</b> 090.0-0006-0009.0																	
Code	Description	A	Y/S	Qty	Size/Dim	Qual	Con	Year	Unit Price	D/S	Dep	LUC	Fact	NB Fa	Appr Value	JCod JFact	Juris. Value
2	Frame Shed	D	Y		18 X 10	A	AV	2006	0.00	T	10.4	101					
More: N	Total Yard Items:					Total Special Features:								Total:			